

HOUSE CONSTRUCTION AND HOUSE EXPANSION GUIDE - PD957 (ELEVATIONS)

01 SHOW ACCEPTABLE BUILDING HEIGHT DEPENDING ON THE TERRAIN. MAXIMUM HEIGHT FOR HOUSE CONSTRUCTION IS 10.0M. HOUSE EXPANSION SHOULD NOT EXCEED THE BUILDING HEIGHT OF THE EXISTING.

SHOW SPECIFICATIONS ON THE ELEVATION:

02 ROOFING MATERIAL : TWO TONE SIMULATED CONCRETE ROOF TILES

03 WINDOW MATERIAL : POWDER COATED SLIDING WINDOW (WHITE FRAME)

04 MAIN DOOR : SOLID WOOD PANEL DOOR OR STEEL DOOR (WHITE)

05 SERVICE DOOR : FLUSH DOOR OR STEEL DOOR (WHITE)

06 EXTERIOR WALL - UPPER WALL: PAINTED PLAIN CEMENT FINISH

07 EXTERIOR WALL - LOWER WALL: PAINTED PLAIN CEMENT FINISH OR SANDBLAST FINISH

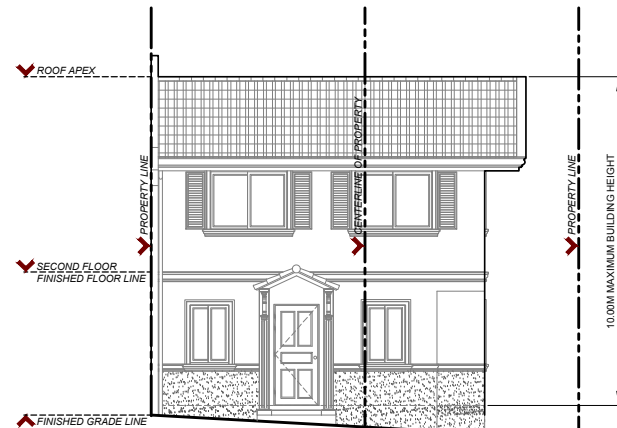
08 CARPORT AND BALCONY EXPANSION SHOULD BE SIMILAR WITH CAMELLA DESIGN

09 SIDE EXPANSION ALLOWABLE TO GROUND FLOOR ONLY. SECOND FLOOR EXPANSION ON THIS SIDE IS NOT ALLOWED TO MAINTAIN THE GENERAL FACADE.

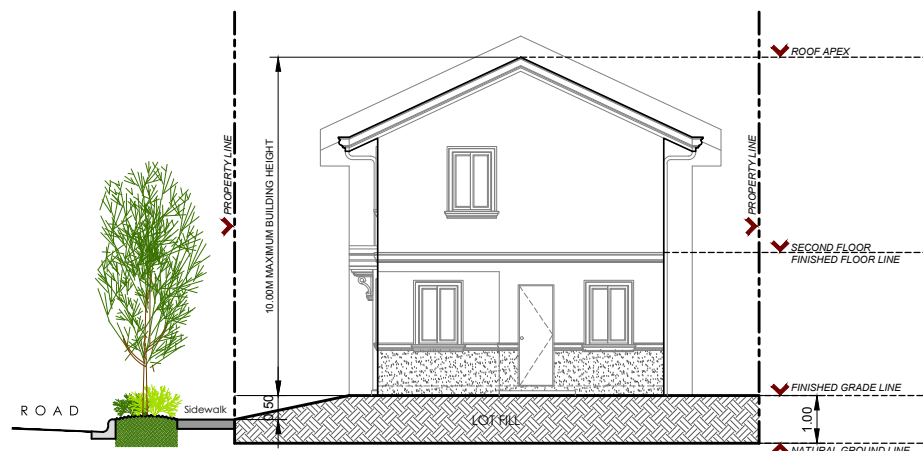
10 REAR EXPANSION, SHOULD BE DESIGNED WITH FIREWALL IF CONNECTED TO PROPERTY LINE. INNER GUTTER SHOULD BE PROVIDED TO AVOID RAIN WATER GOING TO THE NEIGHBOR. FIREWALL SHOULD NO HAVE OPENINGS. SECOND FLOOR REAR EXPANSION IS NOT ALLOWED FOR THROUGH LOTS ALONG THE SPINE ROAD.



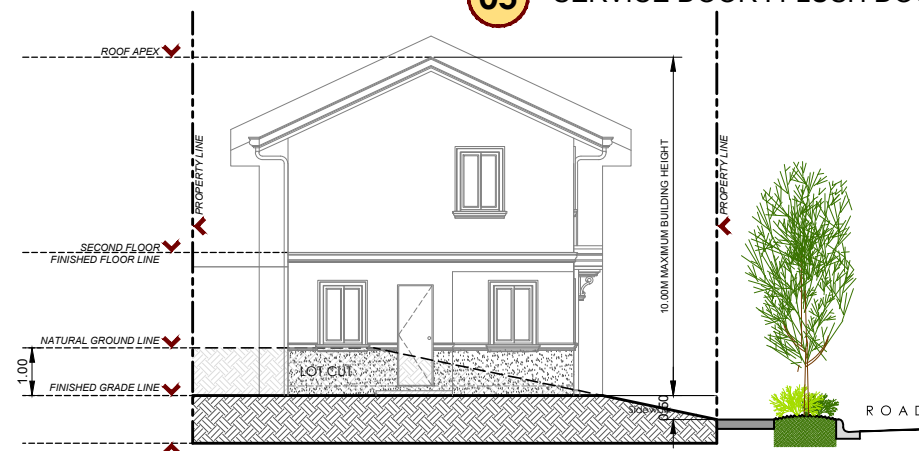
BUILDING HEIGHT
(Regular Terrain)



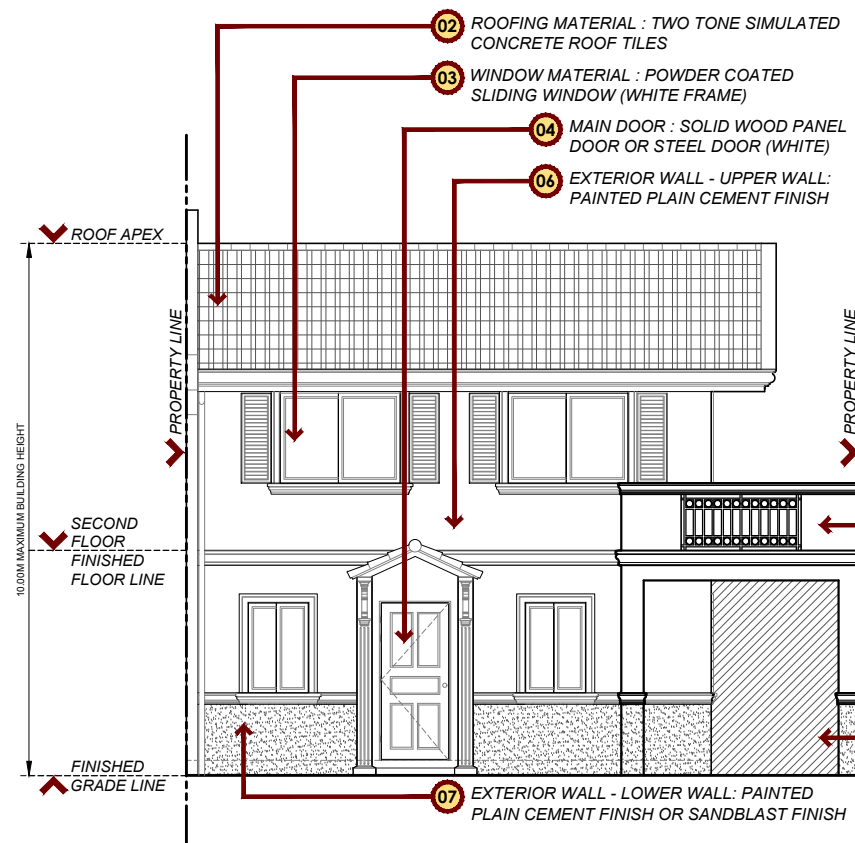
BUILDING HEIGHT
(Sloping Frontage)



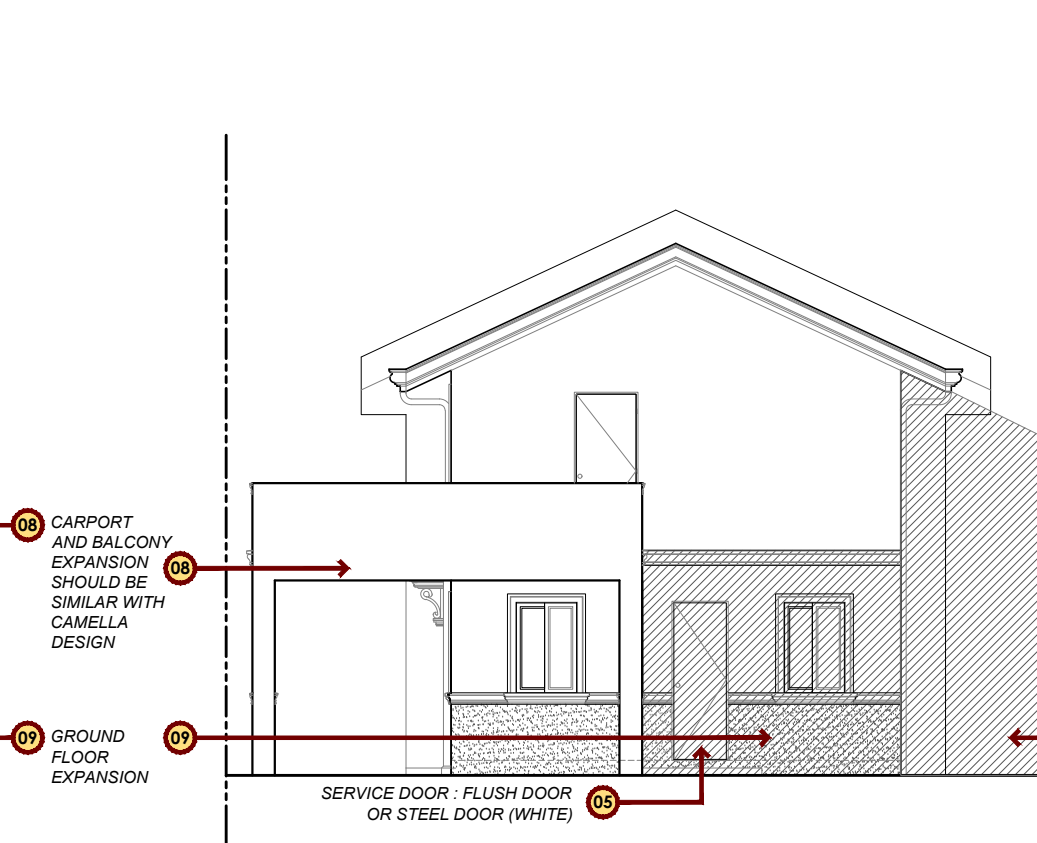
BUILDING HEIGHT & LOT DEVELOPMENT
(Lot Fill)



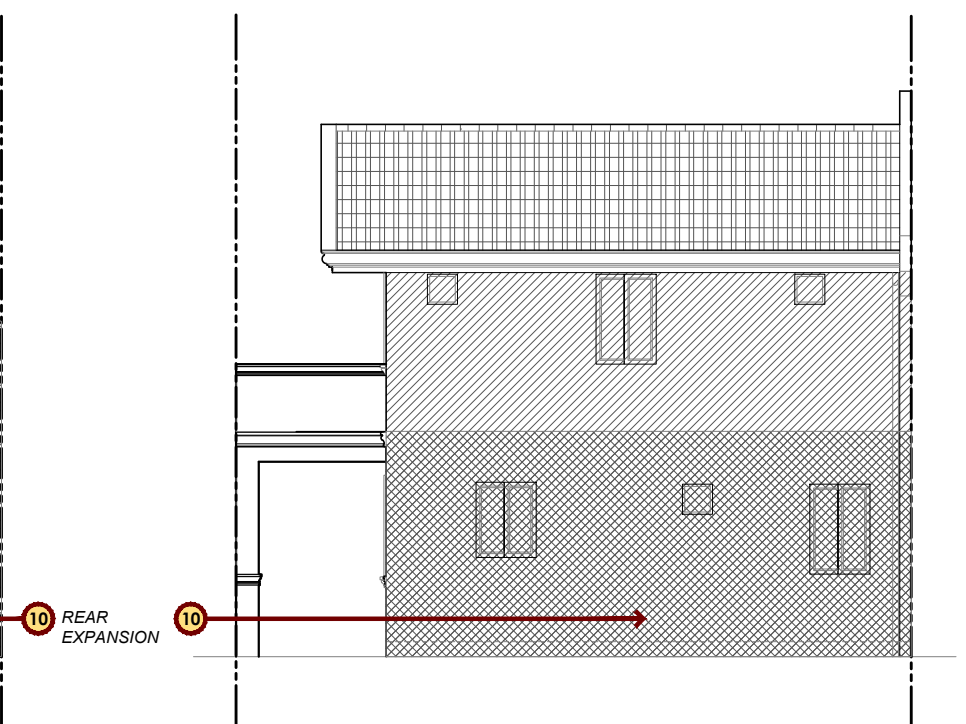
BUILDING HEIGHT & LOT DEVELOPMENT
(Lot Cut)



FRONT ELEVATION



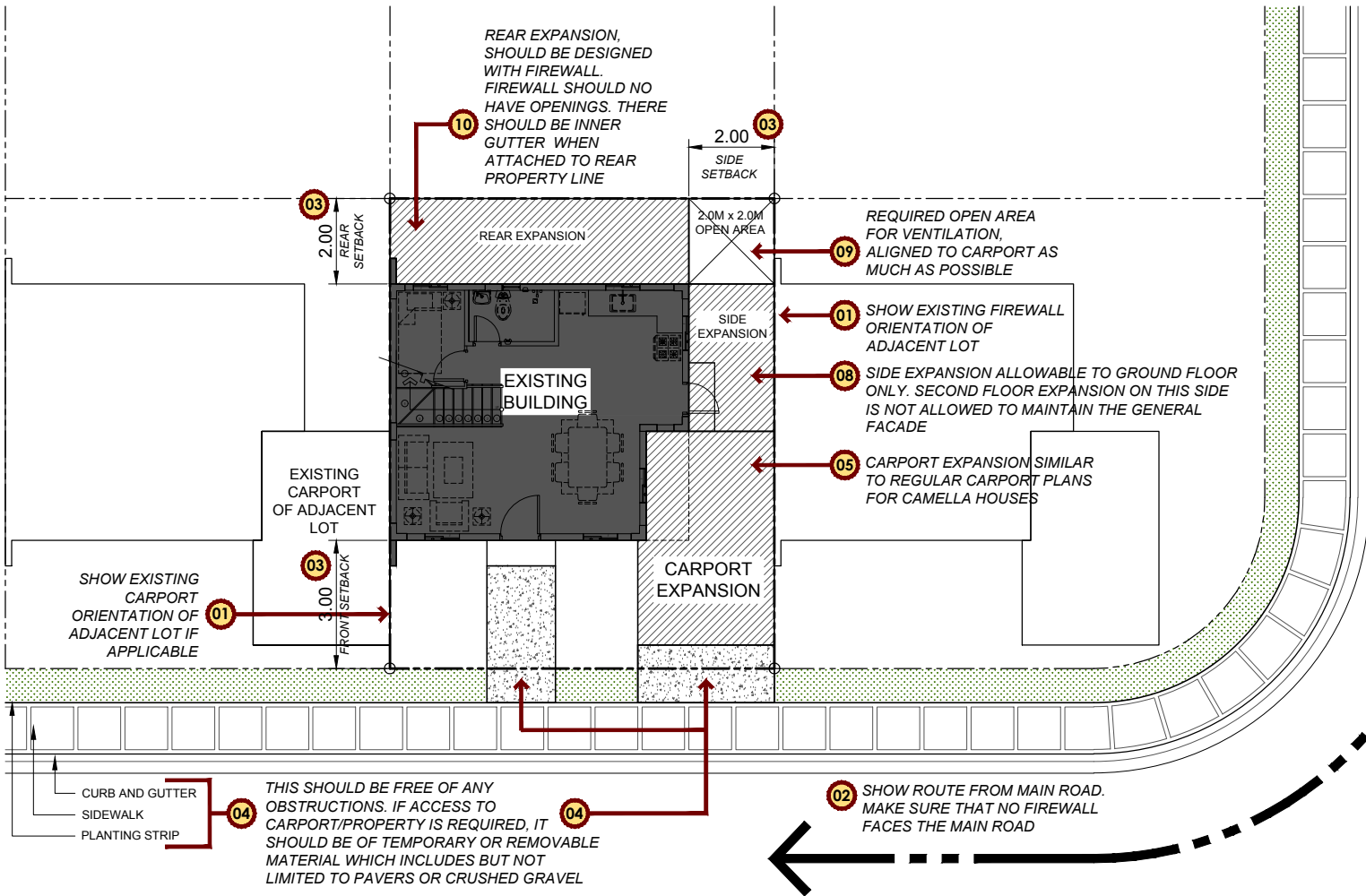
SIDE ELEVATION



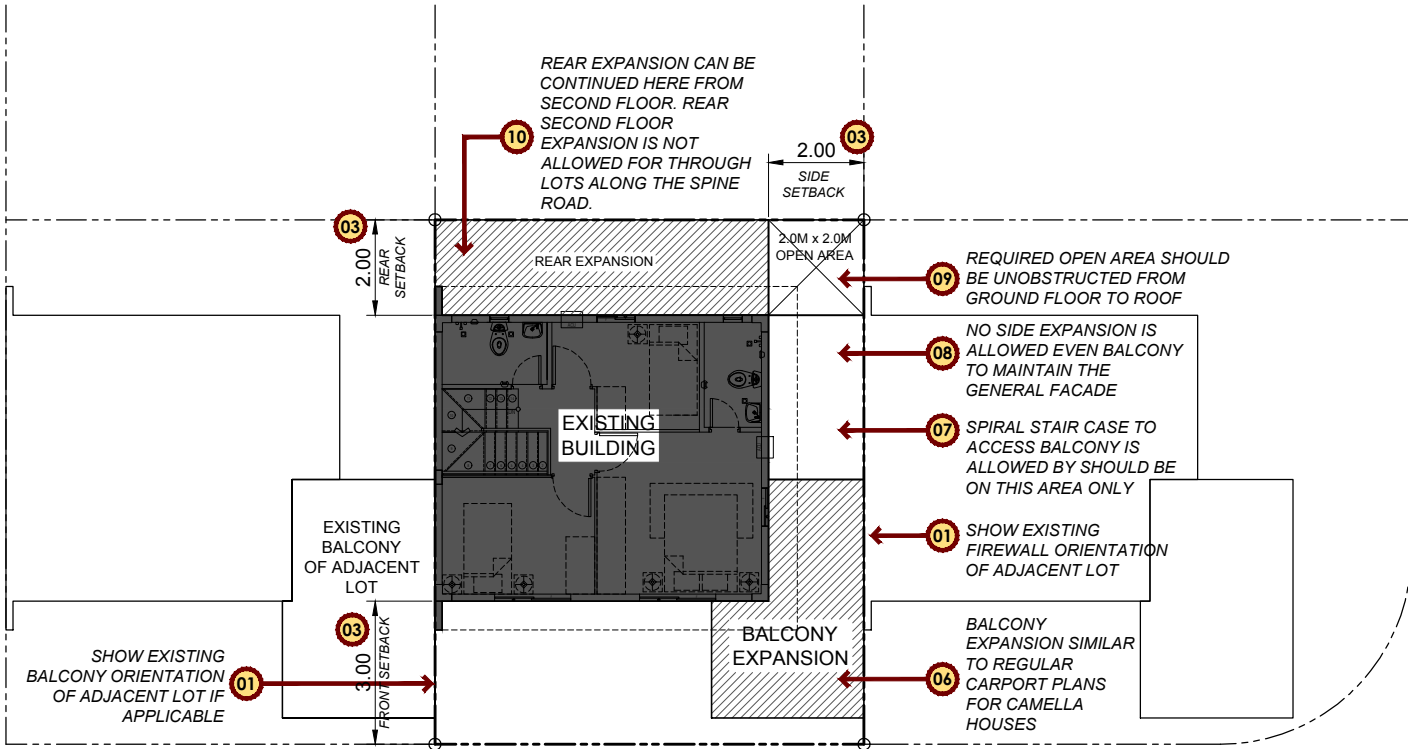
REAR ELEVATION

HOUSE CONSTRUCTION AND HOUSE EXPANSION GUIDE - PD957 (SITE DEVELOPMENT PLAN AND FLOOR PLANS)

- 01 SHOW FIREWALL AND CARPORT ORIENTATION OF ADJACENT LOT. IF HOUSE EXPANSION CONNECTS TO THE FIREWALL OF ADJACENT LOT, IT IS ASSUMED THAT HOMEOWNER WILL GET PERMISSION/APPROVAL FROM HIS/HER NEIGHBOR.
- 02 CHECK ROUTE FROM THE MAIN ROAD. FIREWALL SHOULD NOT BE VISIBLE FROM THIS ROUTE.
- 03 CHECK SETBACKS. FOR PD957 DEVELOPMENTS, SETBACKS ARE : FRONT - 3.00M, SIDE AND REAR - 2.00M. FOR HOUSE CONSTRUCTIONS, FRONT SETBACK SHOULD BE SIMILAR WITH ADJACENT LOTS.
- 04 CURB AND GUTTER, SIDEWALK AND PLANTING STRIP SHOULD BE FREE OF ANY OBSTRUCTIONS. IF ACCESS TO CARPORT/PROPERTY IS REQUIRED, IT SHOULD BE OF TEMPORARY OR REMOVABLE MATERIAL WHICH INCLUDES BUT NOT LIMITED TO PAVERS OR CRUSHED GRAVEL.
- 05 CARPORT EXPANSION SIMILAR TO REGULAR CARPORT PLANS FOR CAMELLA HOUSES
- 06 CARPORT EXPANSION SIMILAR TO REGULAR CARPORT PLANS FOR CAMELLA HOUSES
- 07 SPIRAL STAIR CASE TO ACCESS BALCONY IS ALLOWED BY SHOULD BE ON THIS AREA ONLY.
- 08 SIDE EXPANSION ALLOWABLE TO GROUND FLOOR ONLY. SECOND FLOOR EXPANSION ON THIS SIDE IS NOT ALLOWED TO MAINTAIN THE GENERAL FACADE.
- 09 CHECK 2.0M X 2.0M OPEN AREA REQUIRED FOR PROPER VENTILATION AT THE BACK. IT SHOULD BE ALIGNED TO CARPORT AS MUCH AS POSSIBLE. THIS SHOULD REMAIN UNOBSTRUCTED FROM GROUND FLOOR TO ROOF.
- 10 REAR EXPANSION, SHOULD BE DESIGNED WITH FIREWALL IF CONNECTED TO PROPERTY LINE. INNER GUTTER SHOULD BE PROVIDED TO AVOID RAIN WATER GOING TO THE NEIGHBOR. FIREWALL SHOULD NO HAVE OPENINGS. SECOND FLOOR REAR EXPANSION IS NOT ALLOWED FOR THROUGH LOTS ALONG THE SPINE ROAD.



GROUND FLOOR HOUSE EXPANSION



SECOND FLOOR HOUSE EXPANSION